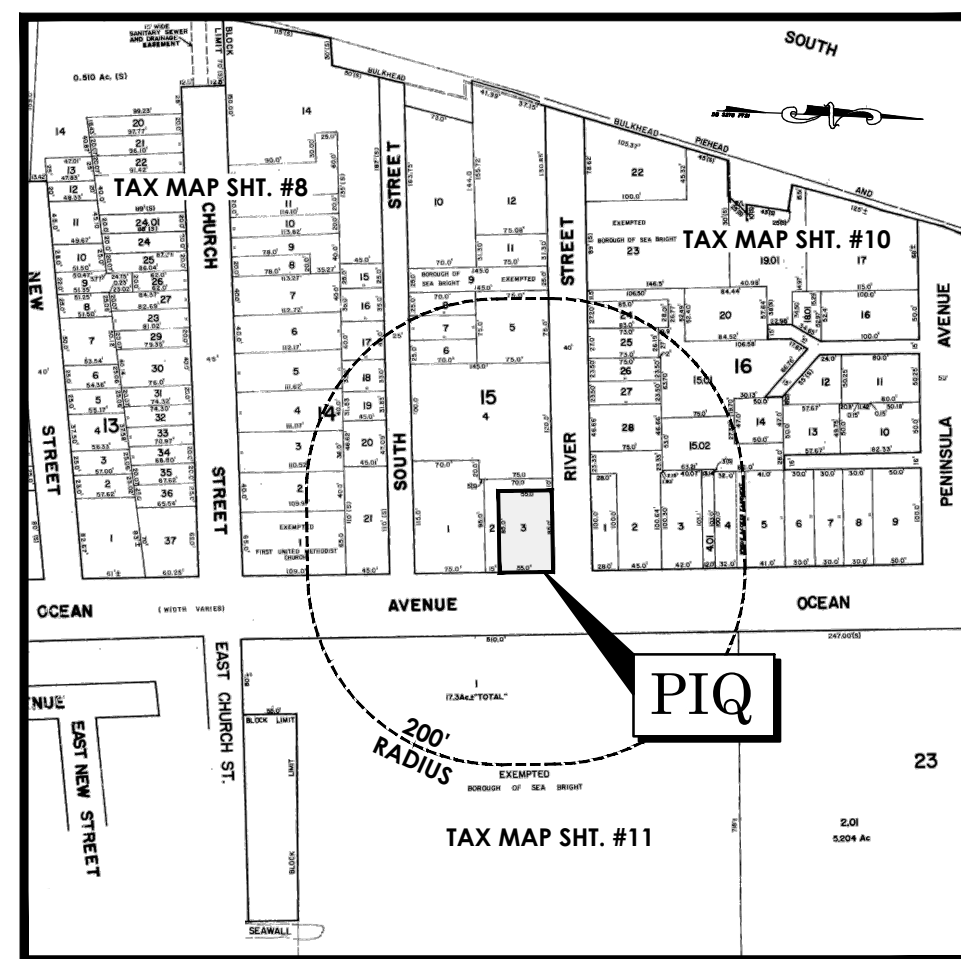


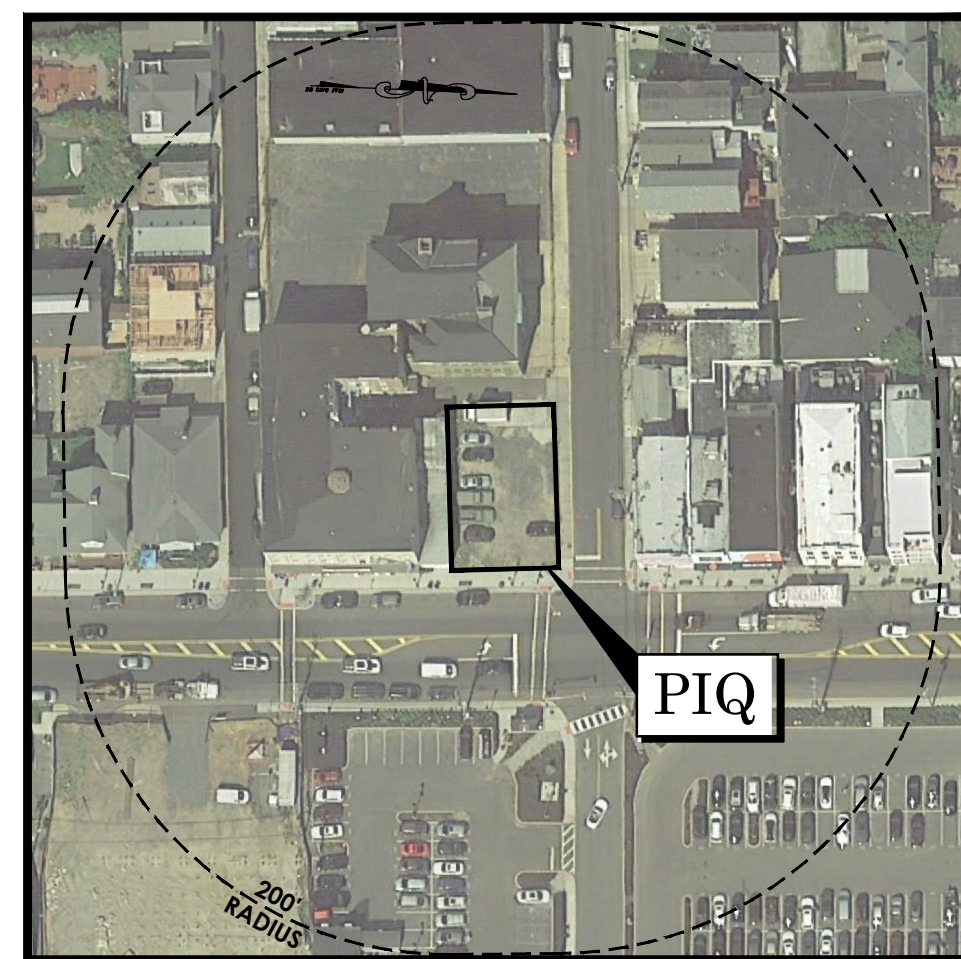
PRELIMINARY AND FINAL
 SITE PLAN
 OF
 BLOCK 15 LOT 3
 FOR
 1080 OCEAN AVENUE
 BOROUGH OF SEA BRIGHT,
 MONMOUTH COUNTY, NJ



ZONE MAP
SCALE: 1"=300'



TAX MAP/AREA MAP
SCALE: 1"=200'



KEY/200' STRUCTURE MAP
SCALE: 1"=100'

200' ADJOINING OWNERS

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Adm' Fee	Lot
			1A	FIRST UNITED METHOD. CHURCH 100 OCEAN AVENUE SEA BRIGT, NJ	100 OCEAN AVENUE		
				07760			
14	1	X	4A	FIRST UNITED METHODIST CHURCH 100 OCEAN AVENUE SEA BRIGT, NJ	100 OCEAN AVENUE		
				07760			
16	2		1	CHURCH STREET CHURCH ASSOCIATION 1 CHURCH STREET UNIT A SEA BRIGT, NJ	1 CHURCH STREET UNIT A		
				07760			
	2.01		2	KINDSON, JUDGE & CHERYL 1 CHURCH STREET UNIT A SEA BRIGT, NJ	1 CHURCH STREET UNIT A		
				07760			
	2.02		2	DONKALP, JOSE & SARAH 1 CHURCH STREET UNIT B SEA BRIGT, NJ	1 CHURCH STREET UNIT B		
				07760			
16	3		2	VOICKEY, TERRY & AMANDA K 3 CHURCH STREET SEA BRIGT, NJ	3 CHURCH STREET		
				07760			
16	4		0	MC SINLEY, KEVIN & ANDREA & JEAN 5 CHURCH STREET SEA BRIGT, NJ	5 CHURCH STREET		
				07760			
16	5		2	DONN, BERNARD & CYNTHIA PO BOX 69 OCEANPORT, NJ	7 CHURCH STREET		
				07757			
16	7		2	LOVENDY, JAMES A 931 OCEAN AVENUE SEA BRIGT, NJ	8 SOUTH STREET		
				07760			
16	18		2	BONIE REAL PROPERTIES LLC 6 SOUTH AVENUE SEA BRIGT, NJ	6 SOUTH STREET		
				07760			
16	19		2	FOX, DAVID & PRYIA 218 MULBERRY PARKS DR SEA BRIGT, NJ	4 SOUTH STREET		
				07758			
16	20		2	WITT, ROBERT K, II & SANDRA C 3 SOUTH STREET SEA BRIGT, NJ	3 SOUTH STREET		
				07760			
16	21		4A	IMMO ASSOCIATES, LLC 3000 WILLY DRIVE HESSTON, MA	1096 OCEAN AVENUE		
				01886			
16	51		4	MAJANES & WILSTIN, LLC 3 BROAD DRIVE LONG BEACH, NJ	1092 OCEAN AVENUE		
				07760			
16	52		4	BOUCHERON, JACQUELINE 770 IRVING PLACE SEACONCH, NJ	1084 OCEAN AVENUE		
				07754			
16	54		4	RIVER STREET REALTY, LLC 474 7TH STREET BROOKLYN, NY	4 RIVER STREET		
				11222			
16	55		5	C, D, & M. ASSO OF SEA BRIGT, LLC PO BOX 674 SEA BRIGT, NJ	6 RIVER STREET		6 & 7
				07760			
16	58		2	HEZEL, A. HOWLAND & SONS, INC PO BOX 419 KINGSTON, NJ	9 RIVER STREET		
				08528			
16	1		1	1076 OCEAN, LLC 1076 OCEAN AVENUE SEA BRIGT, NJ	1076 OCEAN AVENUE		
				07760			
16	2		4A	1072 SEA BRIGT, LLC 1072 OCEAN AVENUE SEA BRIGT, NJ	1072 OCEAN AVENUE		
				07760			
16	3		4	LEW, ANDREW C. & PHYLLIS H 170 MOUNTAIN PLACE LONG BRANCH, NJ	1070 OCEAN AVENUE		
				07760			
16	4		4	ANCK, LLC 10675 DRIVE SOUTH DRESSILL, NJ	1066 OCEAN AVENUE		
				07624			
16	4.01		4	TREZZA REALTY HOLDING LLC 363 BURGESS DRIVE SEA BRIGT, NJ	1068 OCEAN AVENUE		
				07761			
16	5		5	OWN REALTY, LLC 44 MOUNTAIN LANE OCEANPORT, NJ	1062 OCEAN AVENUE		
				07757			
16	6		4A	1040 OCEAN AVENUE, LLD 151 OCEANVIEW WAY SPRINGBURG, NJ	1040 OCEAN AVENUE		
				07760			
16	14		2	MARTIN, LANE WENAT PO BOX 674 SEA BRIGT, NJ	3 BAMBINTON COURT		
				07760			
16	15.01		1	ASSESSED WITH BLOCK 19 LOTS 15 & 13 TOWN 15 IS IN PART OF COMMON EASEMENTS	2 BAMBINTON COURT		
16	15.02		4	WOMOUTH GOSWASH CLUB, LLC 1071 OCEAN AVENUE SEA BRIGT, NJ	1071 OCEAN AVENUE		
				07760			
16	15.03		2	MURDO, ROBERT P, JR 732 OCEANFIELD LANE LAKE WORTH, FL	2 BAMBINTON COURT UNIT 1		
				33647			
16	15.04		2	MURDO, ROBERT P, JR 732 OCEANFIELD LANE LAKE WORTH, FL	2 BAMBINTON COURT UNIT 2		
				33647			
16	15.05		2	MURDO, ROBERT P, JR 732 OCEANFIELD LANE LAKE WORTH, FL	2 BAMBINTON COURT UNIT 3		
				33647			
16	15.06		2	MURDO, ROBERT P, JR 732 OCEANFIELD LANE LAKE WORTH, FL	2 BAMBINTON COURT UNIT 4		
				33647			

GENERAL NOTES:

APPLICANT/OWNER: THE BREAK AT SEA BRIGHT, LLC
MR. TRIP BROOKS
305 BOND STREET
SUITE #301
ASBURY PARK, NJ 07712

1. THE PROPERTY IS KNOWN AS LOT 3, BLOCK 15 AS SHOWN ON THE OFFICIAL TAX MAP SHEET NO. 6 OF THE BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY.
2. SURVEY AND BOUNDARY INFORMATION SHOWN HEREIN TAKEN FROM MAP ENTITLED "SURVEY OF PROPERTY" PREPARED BY LANDMARK SURVEYING & ENGINEERING, INC., ZENON T. GRYBOWSKI, NJ PLS NO. 23918, DATED 12/14/17, REVISED 1/12/18. UTILITY AND TOPOGRAPHIC LOCATIONS SUPPLEMENTED BY WJH ENGINEERING, PETER P. BENNETT III, NJ PLS NO. 40651, DATED 9/27/19.
3. TOPOGRAPHIC INFORMATION IS BASED ON NAVD 88.
4. SITE LOCATED IS LOCATED IN FLOOD ZONE "AE" (MIN. FLOOD ELEV. 8.0) PURSUANT TO PRELIMINARY FLOOD INSURANCE MAP #34025C0201F, DATED 9/25/09.
5. EXISTING USE: VACANT
6. PROPOSED USE: 6 CONDOMINIUMS AND 1 RETAIL SPACE (2,800 SF)
7. THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND SEWER.
8. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC.. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SPECIFICALLY NOTED.
9. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THESE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION."
10. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, AND NOTIFY NJ ONECALL AS REQUIRED BY LAW. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENT AS REQUIRED TO AVOID CONFLICTS. EXISTING UTILITY CONNECTIONS WILL BE UTILIZED, IF POSSIBLE.
11. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. N.J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - B. CURRENT, PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - C. CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
12. CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION WOULD OR COULD RENDER THE DESIGN SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
13. CONTRACTOR SHALL COORDINATE ANY UTILITY RELOCATIONS.
14. THIS PLAN IS SUBJECT TO ALL LOCAL AND STATE REGULATORY PERMITS, AGENCY REVIEW AND APPROVAL.
15. RETAIL & CONDO. REFUSE AND RECYCLING WILL BE HANDLED THROUGH A PRIVATE COMPANY AND STORED WITHIN THE GARAGE AND FIRST FLOOR AREAS.
16. IT IS THE INTENT OF THESE PLANS TO PROVIDE THE FOLLOWING GRADING CRITERIA:
 - 3:1 MAX.
 - 2% MIN. GRASS, 1% PAVEMENT
 - 6% MAX. WITHIN 10' OF PROPOSED BUILDINGS
17. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPETENT PERSON).
18. ALL SITE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE BOROUGH OF SEA BRIGHT CONSTRUCTION STANDARDS, WHERE APPLICABLE.
19. FIRE ZONE SIGNAGE, STRIPING, KNOX BOX, ETC. SHALL BE IN ACCORDANCE WITH THE BOROUGH FIRE OFFICIAL.
20. SEPARATE UTILITY PERMIT APPLICATIONS MAY BE REQUIRED FOR LOCAL AGENCY FOR WATER & SEWER.
21. ALL ROOF LEADERS SHALL BE DIRECTED TOWARD THE STREET SYSTEM.
22. LOAD ZONE: NOT REQUIRED.
23. ALL ELECTRICAL CABLE & TELEPHONE SERVICES TO BE INSTALLED UNDERGROUND.
24. BUILDING FOOTPRINT DIMENSIONS OBTAINED MOE ARCHITECTS ON 9/25/20 AND SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED AT TIME OF BUILDING PERMIT AND SHALL CONFORM TO APPROVED BULK STANDARDS.
25. ALL BONDS MUST BE POSTED PRIOR TO BUILDING PERMITS.
26. STREET LIGHTING SHALL MATCH EXISTING TO ACORN LIGHTS, 16" FIXTURES LOCATED ON OCEAN AVENUE PROVIDED BY JCP&L.
27. ARCHITECT TO COORDINATE SITE WORK PURSUANT TO BOROUGH ORDINANCES.
28. SIDEWALKS AND CURB, IF DAMAGED, SHALL BE REPLACED. PROVISION TO PROVIDE PUBLIC CIRCULATION SHALL BE MAINTAINED AT ALL TIMES.

ZONING TABLE			
ZONE DISTRICT: B-1	BUSINESS DISTRICT		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (S.F.)	3,000	4,674.76	4,674.76
MINIMUM LOT WIDTH (FT.)	50	55.00	55.00
MINIMUM LOT DEPTH (FT.)	60	85.00	85.00
MINIMUM FRONT YARD SETBACK (FT.)	0'-0"	N/A	0.00
MINIMUM SIDE YARD SETBACK (FT.)	0'-0"	N/A	0.00
MINIMUM REAR YARD SETBACK (FT.)	15'-0"	N/A	0.00*
MINIMUM GROSS FLOOR AREA (S.F.)	880	N/A	2,800
MAXIMUM BUILDING HEIGHT (FT.)	42	N/A	SEE ARCH. PLANS
MAXIMUM BUILDING COVERAGE AREA (%)	50	N/A	97*
MAXIMUM IMPERVIOUS COVERAGE (%)	75	100	97*
PARKING SPACES (SEA BRIGHT) RESIDENTIAL ----	2 SPACES / UNIT 12 REQUIRED	N/A	11 + 1 Handicap
* RETAIL/RESTAURANT ----	3 PEOPLE / SPACE 1 / EMPLOYEE	MUNICIPAL LOT	60 OCCUPANCY 8 EMPLOYEES 28 SPACES REQ.
PARKING SIZE STANDARD	8.5' x 18' min.	-	9' x 18'

* VARIANCE REQUIRED

SHEET INDEX			
SHEET NO.	SHEET TITLE	ORIG. ISSUE DATE	LATEST REV. DATE
1	COVER SHEET	10/1/20	11/23/20
2	EXISTING CONDITIONS & DEMOLITION PLAN	10/1/20	11/23/20
3	DIMENSION PLAN	10/1/20	11/23/20
4	GRADING, DRAINAGE & UTILITY PLAN	10/1/20	11/23/20
5	CONSTRUCTION DETAILS	10/1/20	11/23/20

ATTORNEY:
KEVIN KENNEDY, ESQ.
165 STATE HWY. NO. 35
RED BANK, NJ 07701
PH. (732) 936-1099
kennedylaw@kevinkennedylaw.net

ARCHITECT:
DANIEL M. CONDATORE, R.A.
- MODE -
MONMOUTH OCEAN DESIGN EXPERTS
619 LAKE AVENUE
3RD. FLOOR
ASBURY PARK, NJ 07712
PH. (732) 800-1958

APPLICANT / OWNER:
THE BREAK AT SEA BRIGHT, LLC
TRIP BROOKS
305 BOND STREET
SUITE #301
ASBURY PARK, NJ 07712
PH. (732) 804-0902
TripBrooks@gmail.com

AS OWNER OF THE LANDS SHOWN ON THIS MAP, I/WE HEREBY
CONSENT TO FILE THIS MAP.

TRIP BROOKS	DATE
-------------	------

MONMOUTH COUNTY PLANNING
BOARD APPROVAL TO BE AFFIXED

CERTIFICATION:
APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF SEA BRIGHT
MONMOUTH COUNTY, NEW JERSEY

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

CITY ENGINEER _____ DATE _____

PRELIMINARY AND FINAL
SITE PLAN
OF
BLOCK 15 LOT 3
FOR

1080 OCEAN AVENUE
BOROUGH OF SEA BRIGHT,
MONMOUTH COUNTY, NJ

JOB NUMBER 19181

WH

CERT. OF AUTH. NO. 24GA28117300

257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755
PHONE - 732-223-1313

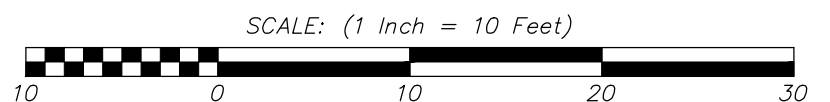
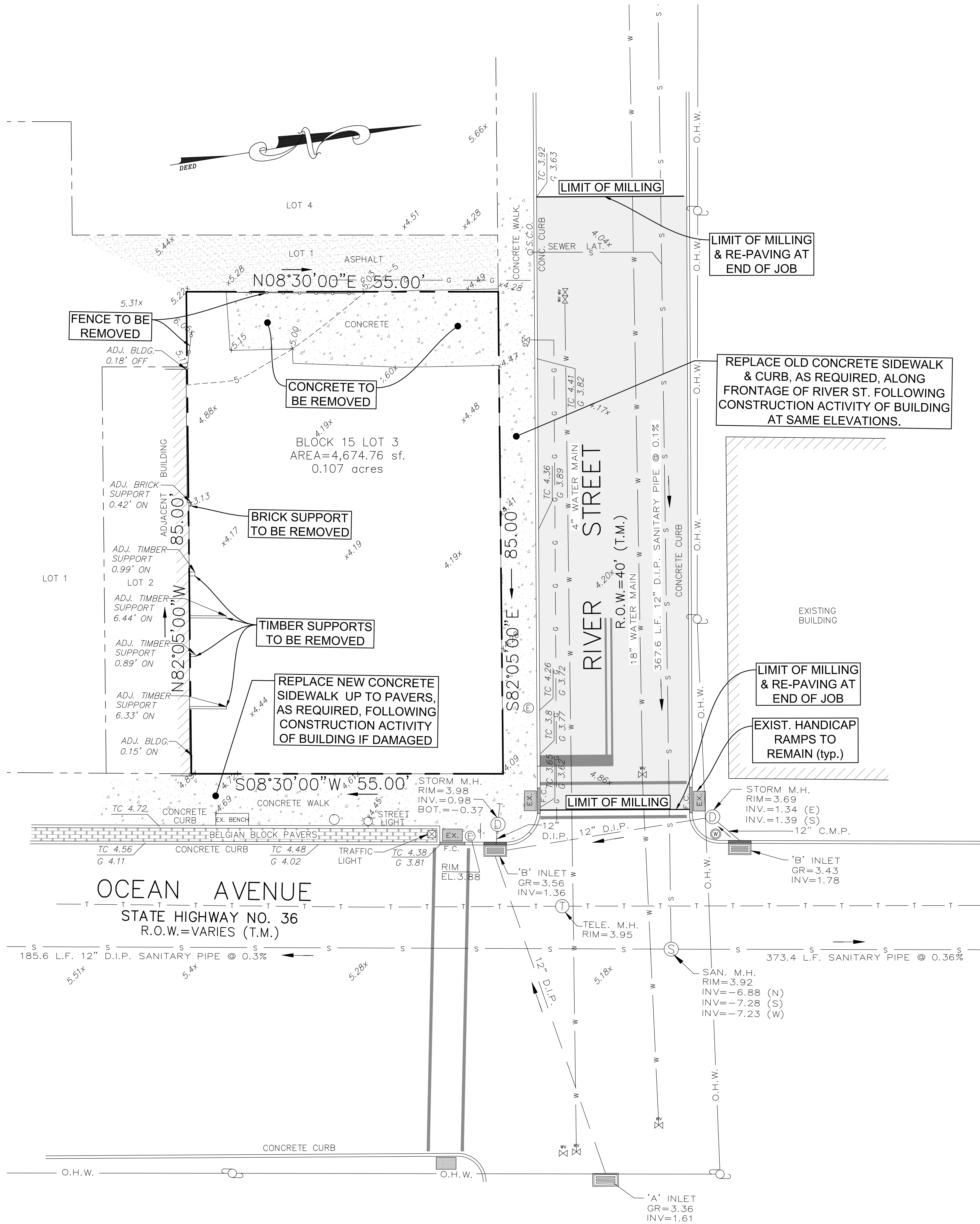
WALTER JOSEPH HOPKIN
N.J. PROFESSIONAL ENGINEER, LIC. No. 40673

Wend.

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LEGEND

- GAS VALVE
- WATER VALVE
- WATER METER
- UTILITY MANHOLE
- DRAINAGE MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGN
- TRAFFIC SIGN (2 POST)
- STREET SIGN
- LIGHT POST
- UTILITY POLE
- FIRE HYDRANT
- DRAINAGE INLET (TYPE "A")
- DRAINAGE INLET (TYPE "B")
- DRAINAGE INLET (TYPE "E")
- DRAINAGE LINE
- ELECTRIC LINE
- GAS LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- WATER LINE
- OVERHEAD WIRES
- MONITORING WELL
- IRON PIPE FOUND
- CAPPED REBAR FOUND
- CONCRETE MONUMENT FOUND
- SURVEY
- FILE MAP
- GAS METER
- D.C. DEPRESSED CURB
- F.C. FLUSH CURB

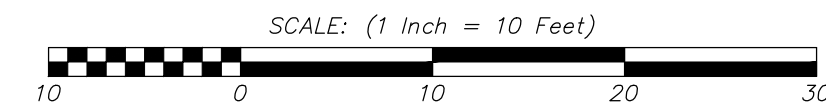
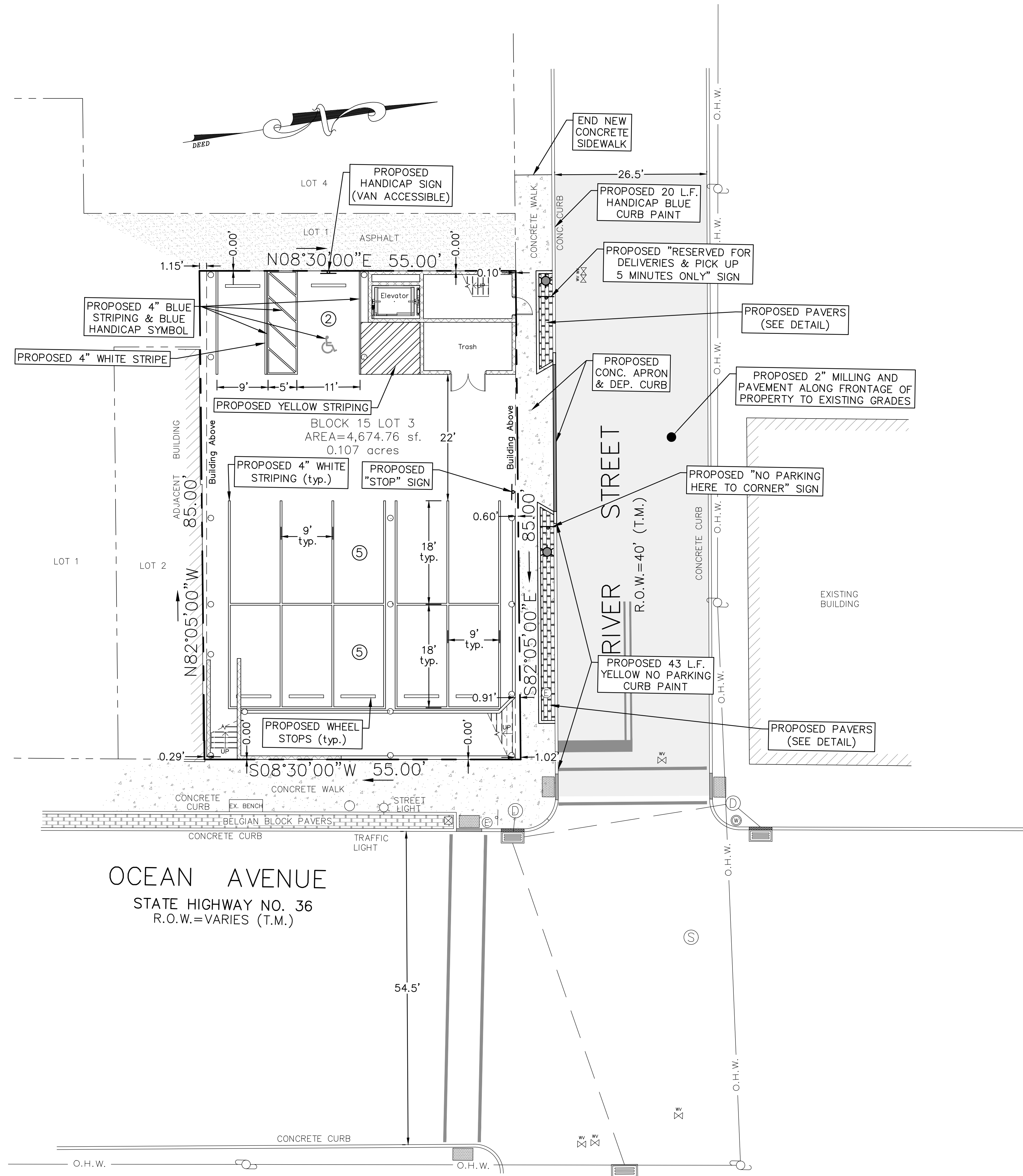


1	11/23/20	GENERAL REVISIONS			JUL
NO.	DATE	DESCRIPTION			DRAWN BY
PRELIMINARY & FINAL SITE PLAN					
OF					
LOT 3 BLOCK 15					
BOROUGH OF SEA BRIGHT		MONMOUTH COUNTY		NEW JERSEY	
		CERT. OF AUTH. NO. 24GA28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755 PHONE: 732-229-1313 WWW.WHENGINEERING.COM		EXISTING CONDITIONS & DEMOLITION PLAN	
				WALTER JOSEPH HOPKIN N.J. PROFESSIONAL ENGINEER, LIC. No. 40673 	
SCALE:	DRAWN BY:	DATE:	JOB NO.:	SHEET NO.:	
1"= 10'	JUL	10/1/20	19181	2 of 5	

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LEGEND

- GAS VALVE
- WATER VALVE
- WATER METER
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- DRAINAGE MANHOLE
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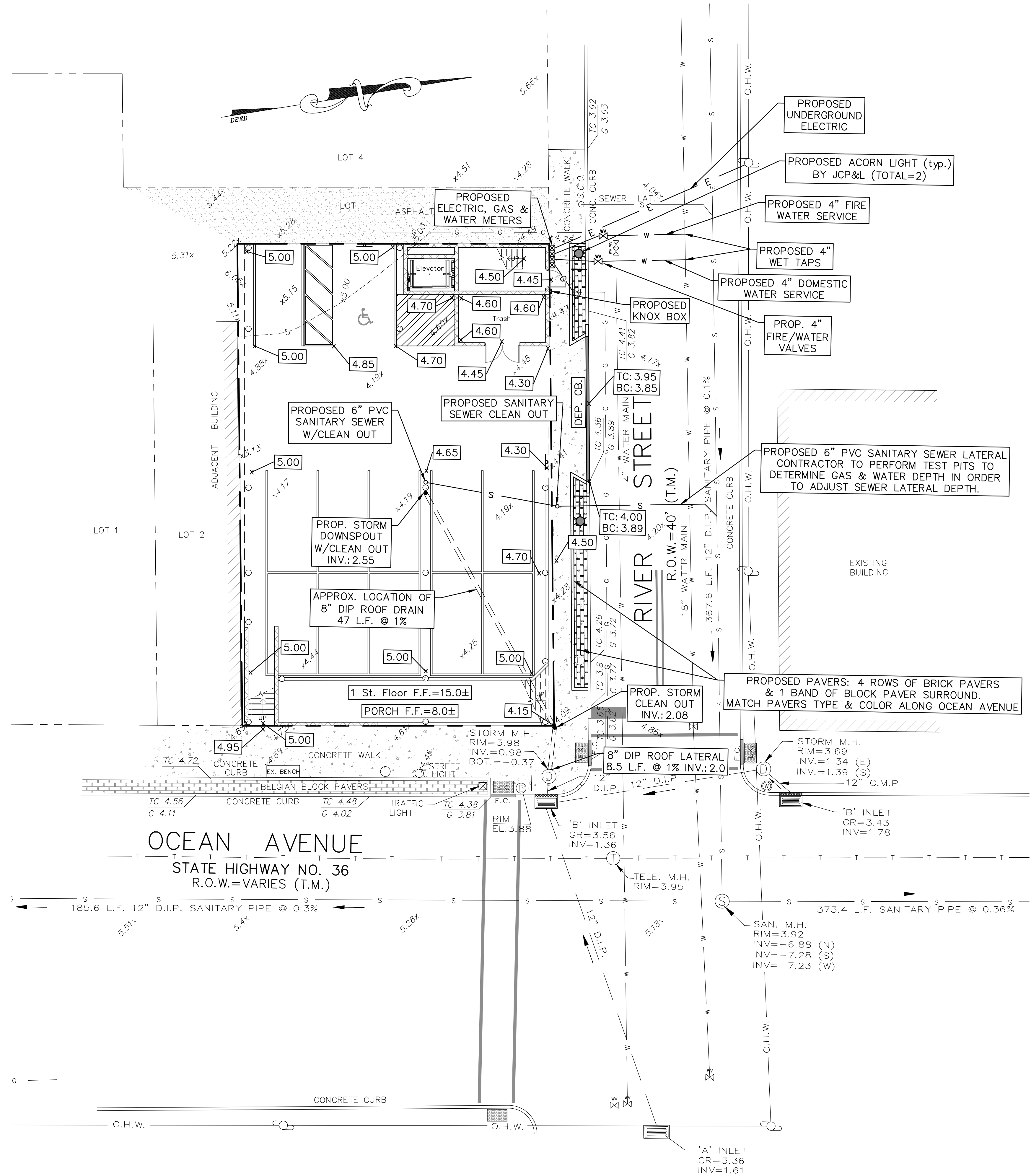


1	11/23/20	GENERAL REVISIONS			JUL
NO.	DATE	DESCRIPTION			DRAWN BY
PRELIMINARY & FINAL SITE PLAN					
OF					
LOT 3 BLOCK 15					
BOROUGH OF SEA BRIGHT		MONMOUTH COUNTY		NEW JERSEY	
		CERT. OF AUTH. NO. 24GA28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755 PHONE: 732-229-1313 WWW.WJENGINEERING.COM		DIMENSION PLAN	
SCALE:		DRAWN BY:	DATE:	JOB NO.:	SHEET NO.:
1"= 10'	JUL	10/1/20	19181	3 of 5	
				WALTER JOSEPH HOPKIN N.J. PROFESSIONAL ENGINEER, J.C. No. 40673	

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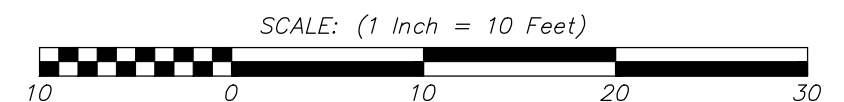
LEGEND

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	UTILITY MANHOLE
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	SURVEY
	FILE MAP
	GAS METER
	D.C. DEPRESSED CURB
	F.C. FLUSH CURB



SEWER & WATER NOTES:

- Detailed interior sanitary sewer piping for the apartment buildings will be provided upon completion of the architectural plans.
- HVAC condensate shall not enter the wastewater system.
- The Sewer Authority shall witness all work associated with the proposed lateral connections to the existing DIP located within River Street.
- Water service to be provided from the existing eighteen (18) inch water service unless flow test reveals that the four (4) inch water line is capable of providing fire and domestic services. A flow test must be performed in order to finalize the connections.
- Pipe materials connections shall comply with local water company specifications. Water shutoff valves shall be color coded for fire and domestic

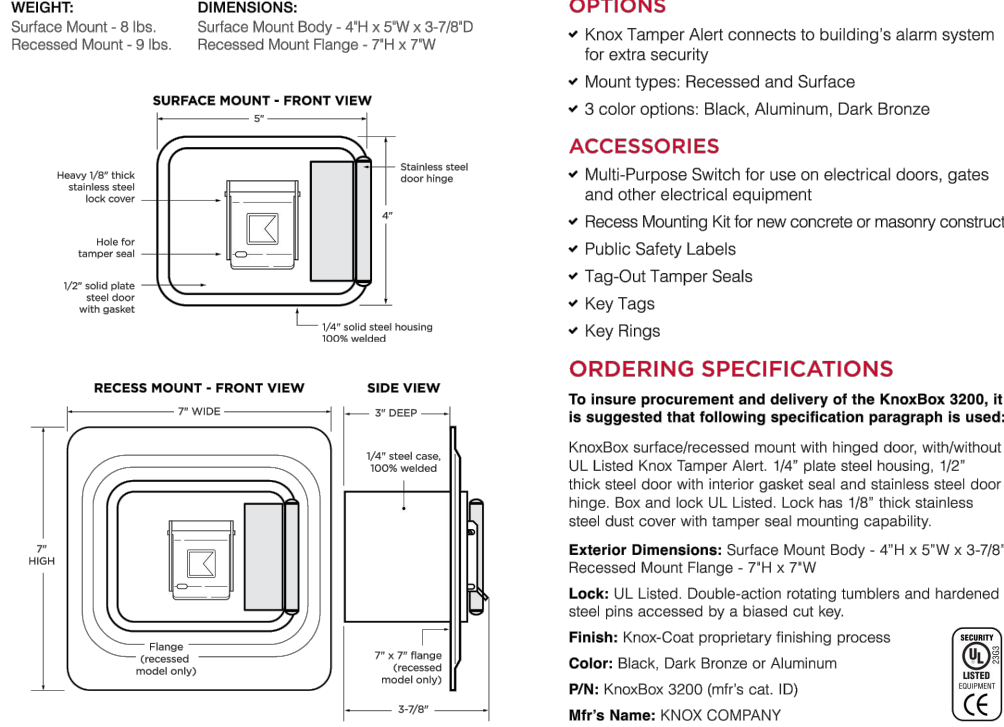


1	11/23/20	GENERAL REVISIONS			JUL
NO.	DATE	DESCRIPTION			DRAWN BY
PRELIMINARY & FINAL SITE PLAN					
OF					
LOT 3 BLOCK 15					
BOROUGH OF SEA BRIGHT		MONMOUTH COUNTY		NEW JERSEY	
 ENGINEERING		CERT. OF AUTH. NO. 24GA28117300			
		257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755 PHONE: 732-229-1313 WWW.WJHENGINEERING.COM			
		GRADING, DRAINAGE & UTILITY PLAN			
		WALTER JOSEPH HOPKIN			
		PROFESSIONAL ENGINEER, LIC. NO. 40673			
SCALE: 1"= 10'	DRAWN BY: JUL	DATE: 10/1/20	JOB NO.: 19181	SHEET NO.: 4 of 5	

KNOX
When seconds matter™

KNOXBOX™ 3200

The KnoxBox 3200 is the number one high-security key lock box trusted by first responders and property owners. Store up to 10 keys to quickly gain rapid access to commercial properties.



1601 W. DEER VALLEY RD. PHOENIX, AZ 85027 | T: 800-552-5669 | F: 623-687-2290 | INFO@KNOXBOX.COM | KNOXBOX.COM
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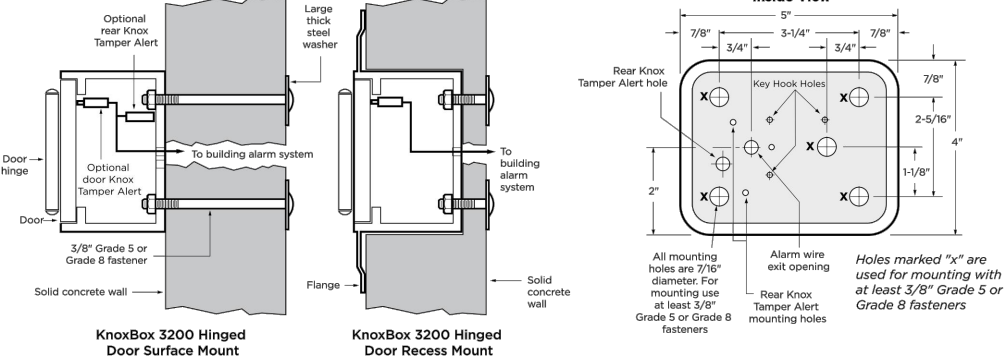
KNOX
When seconds matter™

KNOXBOX™ 3200

GENERAL MOUNTING INSTRUCTIONS

Suggested minimum mounting height, 6 feet above ground.

ATTENTION: KnoxBox is a very strong device that MUST be mounted properly to ensure maximum security and resist physical attack.

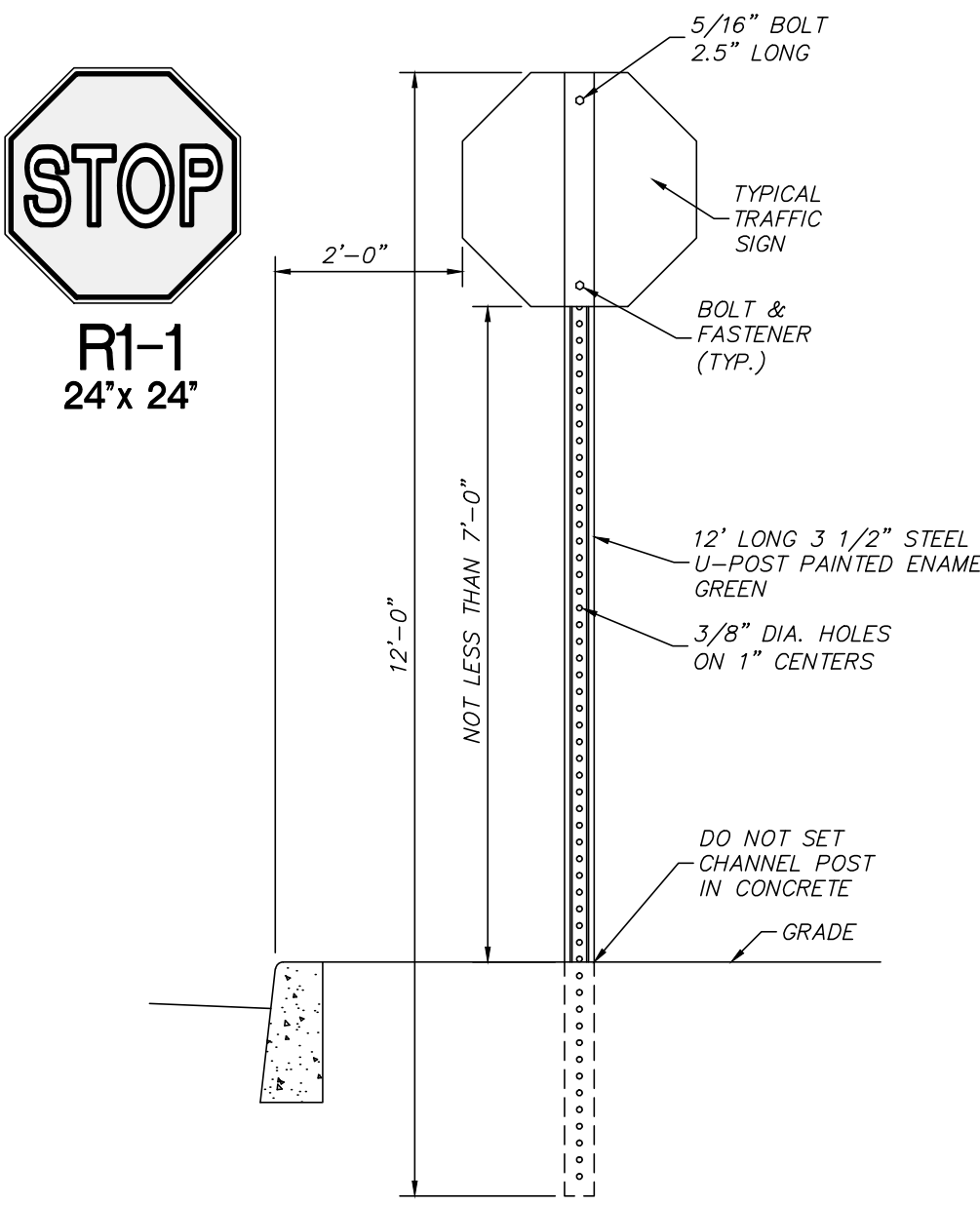


ABOUT KNOX COMPANY

Over forty years ago, a unique concept in rapid access for emergency response was born. The KnoxBox, a high-security key lock box, was designed to provide rapid access for emergency responders to reduce response times and protect property from forced entry.

Today, one revolutionary lock box has grown into a complete system providing rapid access for public safety agencies, industries, military, and property owners across the world. The Knox Company is trusted by over 14,000 fire departments, law enforcement agencies, and governmental entities.

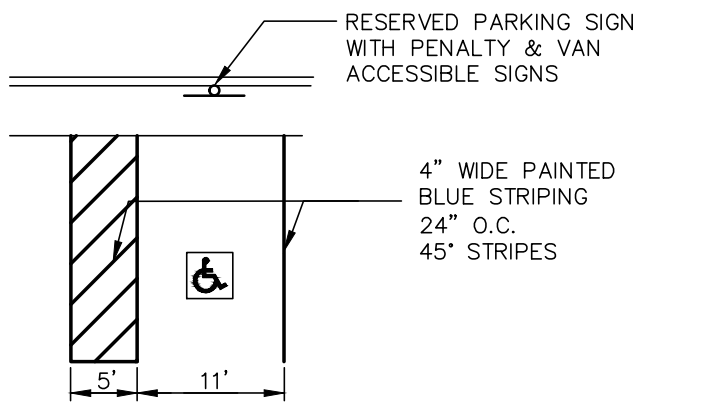
KNOX COMPANY
1601 W. DEER VALLEY RD
PHOENIX, AZ 85027
T: 800-552-5669
F: 623-687-2290
INFO@KNOXBOX.COM
KNOXBOX.COM



- NOTES:
- ALL REGULATORY & WARNING SIGNS SHALL BE HIGH INTENSITY REFLECTIVE SHEETING.
 - ALL OTHER SIGNS SHALL BE ENGINEER GRADE SHEETING.
 - ALL SIGNS AFFECTING COUNTY ROAD TRAFFIC SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION
 - SIGN POSTS SHALL BE 3LBS./FT.

TYPICAL SIGN POST DETAIL

NOT TO SCALE

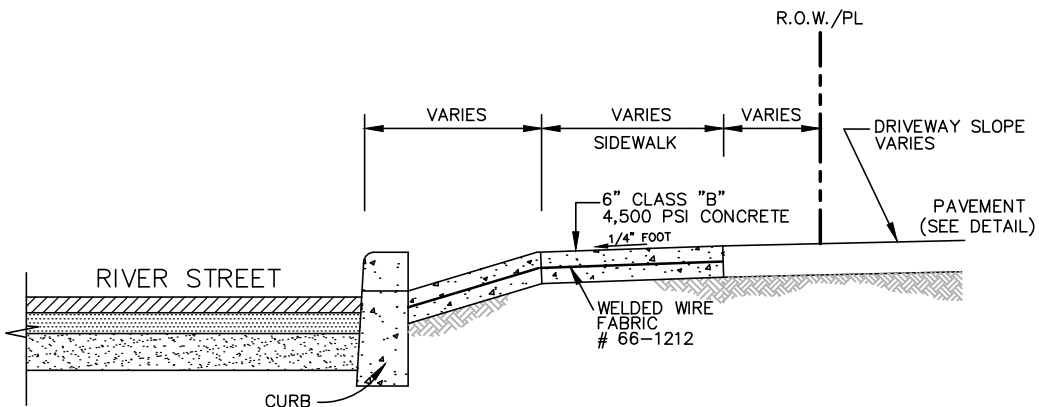


HANDICAP STRIPING DETAIL

VAN ACCESSIBLE

HANDICAP PARKING DETAIL

NOT TO SCALE



CONCRETE DRIVEWAY APRON DETAIL

NOT TO SCALE

